

CHATHAM COUNTY PURCHASING DEPARTMENT

ADDENDUM NO. 2 TO 16-0003-4

**FOR: POLICE PRECINCT BUILDING**

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**SEE ATTACHED FOR ALL CURRENT ADDITIONS, CLARIFICATIONS AND /OR CHANGES:**

**1. SEE ATTACHED SHEETS (2 pages) FOR CHANGES TO THE SPECIFICATIONS AND CHANGES TO THE PLAN SHEETS BASED ON QUESTIONS RECEIVED**

**2. SEE ATTACHED REVISED PLAN SHEETS: C - 1 Paving Grading Drainage  
DET - 3 Standard Pipe Bedding Details**

**Note: Addendum 3, regarding additional questions received, will be issued as soon as it is completed.**

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**THE BID OPENING SHALL REMAIN 2 PM, THURSDAY, FEBRUARY 25, 2016.**

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**THE BIDDER IS RESPONSIBLE FOR MAKING THE NECESSARY CHANGES AND MUST ACKNOWLEDGE RECEIPT OF ADDENDUM.**

2-12-16  
DATE

  
\_\_\_\_\_  
ROBERT E. MARSHALL  
SENIOR PROCUREMENT SPECIALIST  
CHATHAM COUNTY

## ADDENDUM NO. 2

KC & Co. Project No. 150252  
Release Date: February 11, 2016

Page 1 of 2

### PART A – CLARIFICATIONS TO THE CONTRACT

**Addendum #2: No additions or changes.**

### PART B - CHANGES TO THE SPECIFICATIONS:

**Addendum #2: Item 1: Specification Section 07 41 00 STANDING SEAM METAL ROOFING SYSTEM**

- a. Approved. DMI (Dimensional Metals, Inc.) Double-Lock Panel, DL20 (features 16” width for ribs, height of ribs 2”).
- b. Approved. McElroy Metal, Inc. Maxima ADV 216 metal panels (features 16” width for ribs, height of ribs 2”).

**Addendum #2: Item 2: Specification Section 09 91 00 PAINTING**

- c. Paragraph 2.5 CONCRETE MASONRY UNITS (INTERIOR) A. Painted CMU (Wet Areas) shall be primed with Heavy Duty Block Filler and finished with two (2) coats of Epoxy wall paint. As scheduled on drawings. Rooms to be included are 106, 107, 108 and shower area, 109 and shower area, 117, 126, and 127. Rooms 126 and 127 shall also have epoxy floor finish, in lieu of, resilient tile floor and resilient sheet flooring noted on Finish Schedule.

**Addendum #2: Item 3: Specifications DIVISION 21: FIRE PROTECTION**

- d. Delete Specification Section 21 05 10 - Fire Protection Piping
- e. Delete Specification Section 21 13 13.01 - Wet Pipe Sprinkler System

### PART C - CHANGES TO THE DRAWINGS:

**Addendum #2: Item 4: Drawing A0.0 COVER SHEET**

- f. Index of Drawings. Delete drawings “PRE” – Drainage Exhibit and “POST” – Drainage Exhibit.

**Addendum #2: Item 5: Drawings C.2 & DET.3**

- g. Added asphalt pavement detail to DET.3 and added asphalt pavement type to U.2.

**Addendum #2: Item 6: Drawing C2**

## ADDENDUM NO. 2

KC & Co. Project No. 150252  
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Page 2 of 2

- h. Revised storm drain pipe sizes.

### **Addendum #2: Item 7:**

- i. Seating benches to be provided by owner.

### **Addendum #2: Item 8: Drawings C2**

- j. Added wood fence with masonry columns along east side of property sheet C2 and added detail to DET 3.

### **Addendum #2: Item 9: Drawings A1.3 ROOF PLAN & NOTES & S1.1 FOUNDATION SECTIONS**

- k. The roof decking is required to be 1 1/8" thickness to meet the wind load requirements. If alternate layers are to be provided, an engineer's approval, stamp and signage will be required; detailing the layering thicknesses and the installation procedures .

### **Addendum #2: Item 10: Drawing A6.0 DOOR SCHEDULE AND DETAILS**

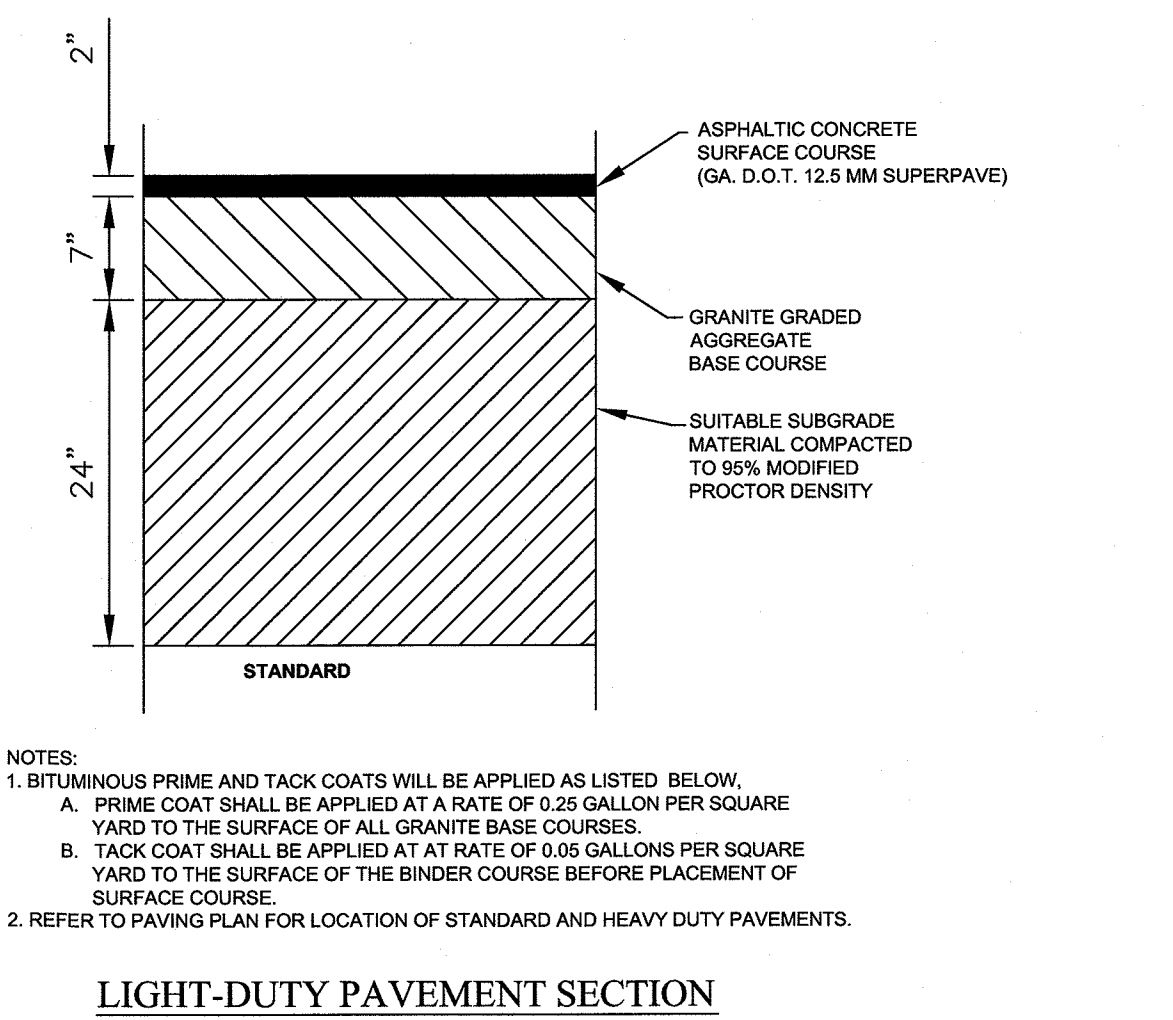
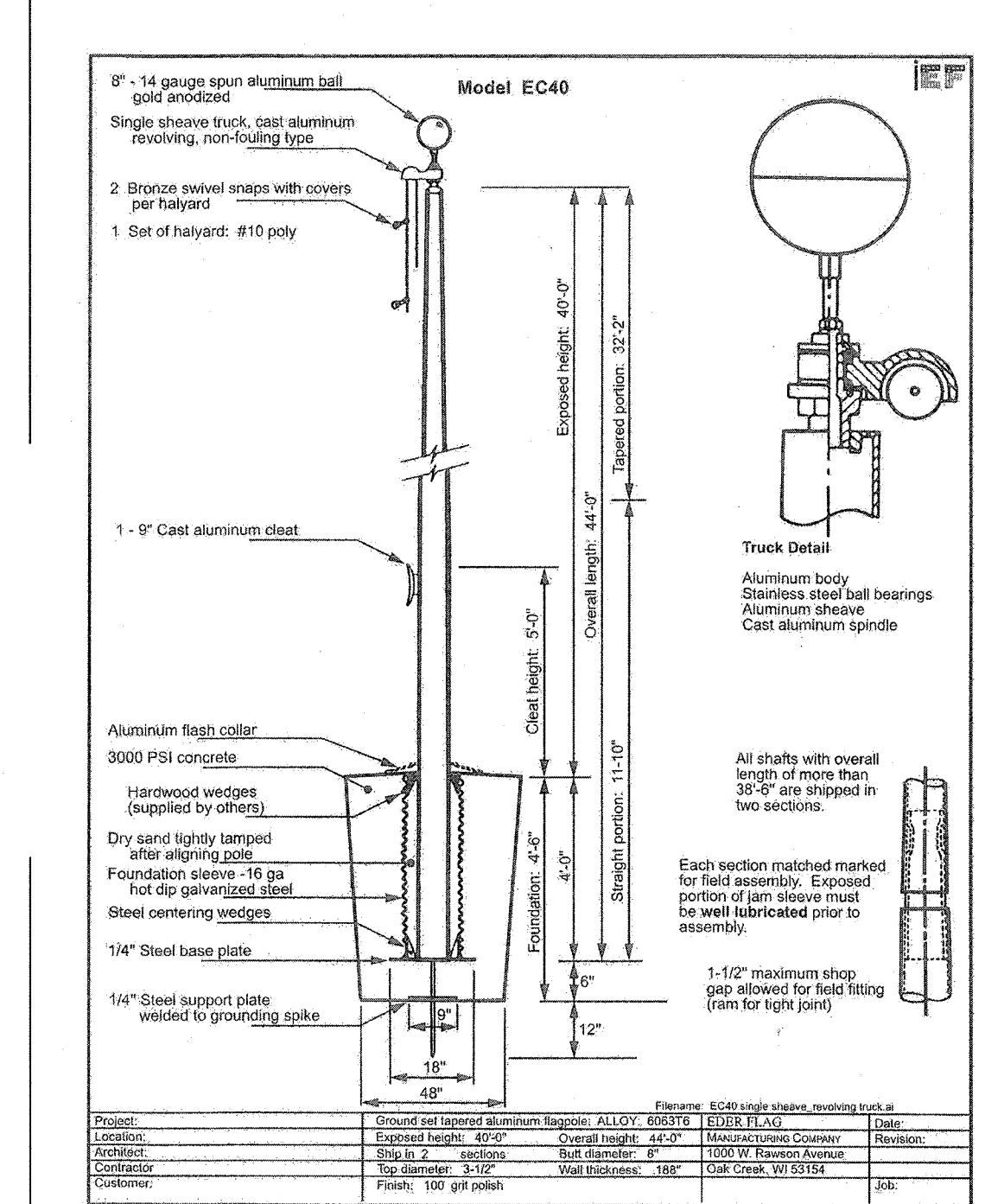
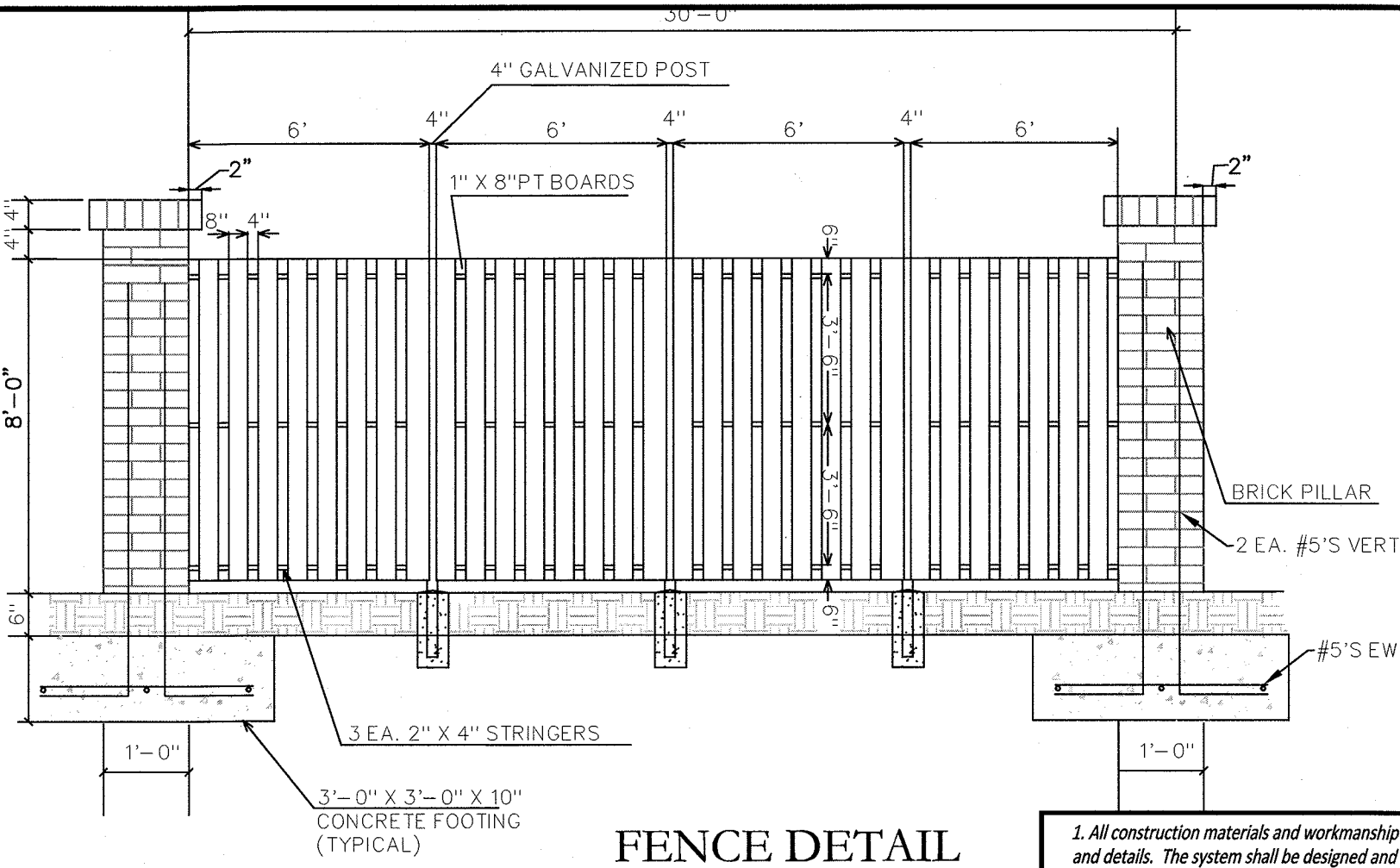
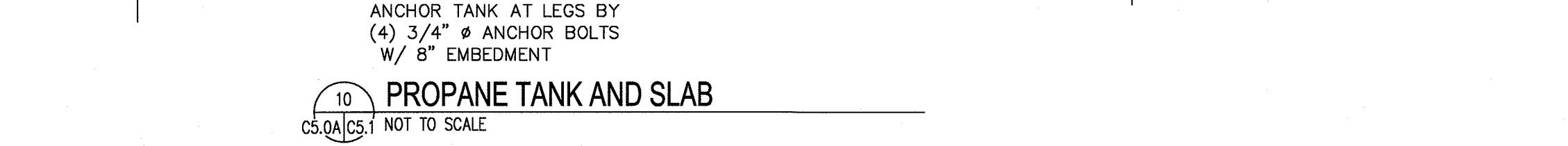
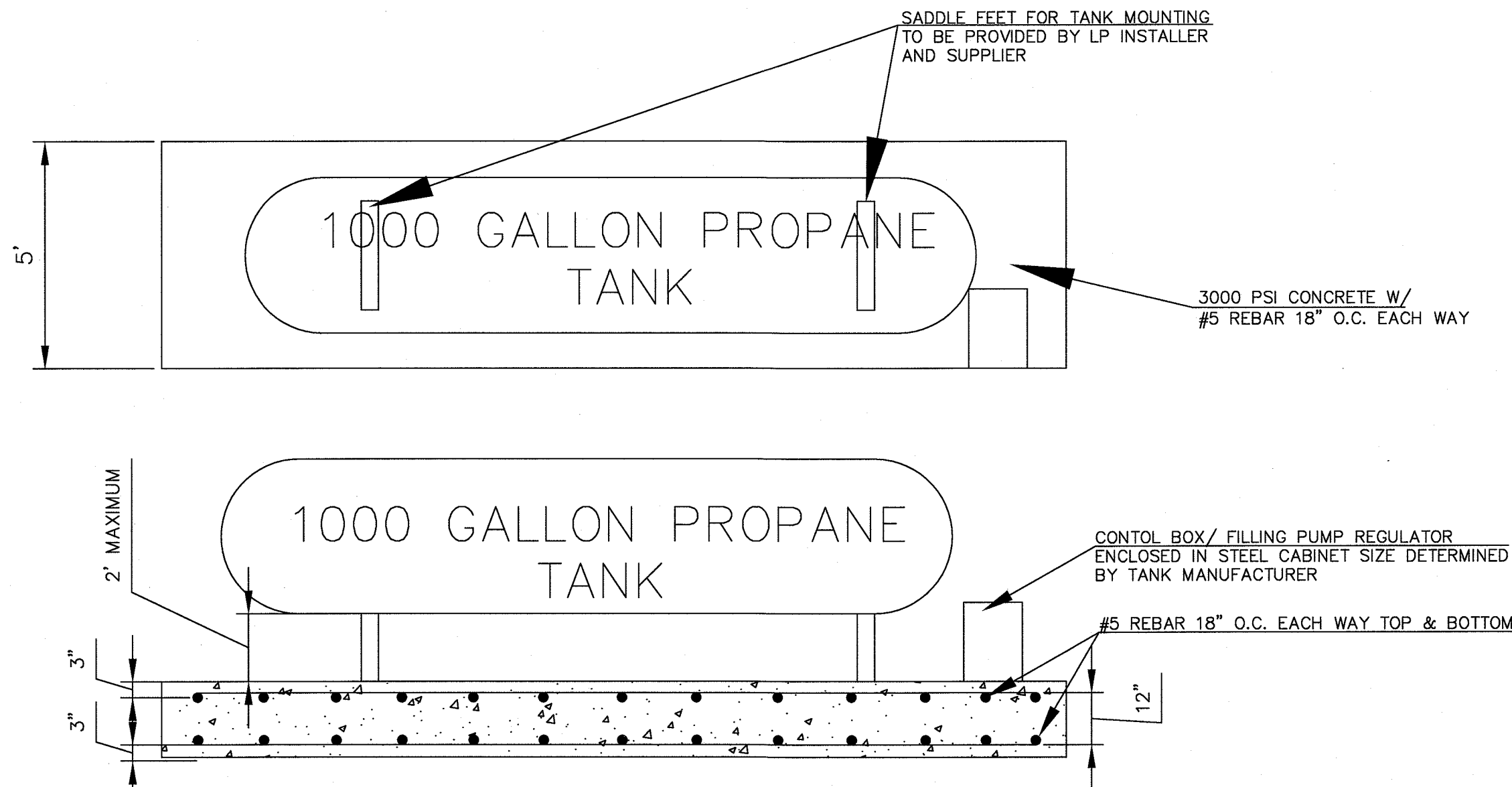
- l. The Doors can be factory stained and finished or they can be stained and finished on site. Staining and finishing on site would probably produce a controlled finish.

### **Addendum #2: Item 11: Drawing A6.1 FINISH SCHEDULE & DETAILS**

- m. CONCRETE MASONRY UNITS (INTERIOR) Painted CMU (Wet Areas) shall be primed with Heavy Duty Block Filler and finished with two (2) coats of Epoxy wall paint. As scheduled on drawings.  
Rooms to be included are 106, 107, 108 and shower area, 109 and shower area, 117, 126, and 127. Rooms 126 and 127 shall also have epoxy floor finish with 4" rubber cove base, in lieu of, resilient tile floor and resilient sheet flooring noted on Finish Schedule.

End of Addendum #2





NOTES:

1. BITUMINOUS PRIME AND TACK COATS WILL BE APPLIED AS LISTED BELOW.
  - A. PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD TO THE SURFACE OF ALL GRANITE BASE COURSES.
  - B. TACK COAT SHALL BE APPLIED AT A RATE OF 0.05 GALLONS PER SQUARE YARD TO THE SURFACE OF THE BINDER COURSE BEFORE PLACEMENT OF SURFACE COURSE.
2. REFER TO PAVING PLAN FOR LOCATION OF STANDARD AND HEAVY DUTY PAVEMENTS.

1. All construction materials and workmanship shall be in accordance to the City of Savannah's latest construction specifications and details. The system shall be designed and tested per the specifications and requirements maintained by the City Engineer.

2. The water service lateral serving the facility shall be installed by the developer/contractor from the water main to the meters. The City of Savannah will only make the wet tap. The City will not install the water service lateral.

3. All materials used and come into contact with drinking water during its distribution shall not adversely affect drinking water quality and public health and must be certified for conformance with American National Standards Institute/National Sanitation Foundation Standard 61 (ANSI/NSF Standard 61).

4. In all water line projects, care will be taken to keep the interior of the water pipe clean prior to connection to the city system.

a. Pipe, fittings, valves and other accessories shall, unless otherwise directed, be unloaded at the point of delivery, and stored where they will be protected and will not be hazardous to traffic. They shall at all times be handled with care to avoid damage. The interior of all pipes, fittings and other accessories shall be kept free from dirt and foreign matter at all times.

b. Any defective, damaged, or unsound pipe shall be rejected. All foreign matter or dirt shall be removed from the inside of the pipe before it is lowered into its position in the trench and shall be kept clean by approved means during and after laying. Care shall be taken to prevent dirt from entering the joint space. During installation, when pipe laying is not in progress, a mechanical joint plug or cap, or approved equal, will be used to form a water tight seal at both ends of the line being laid and no trench water shall be permitted to enter the pipe.

c. Clean the interiors of all pipes by brushing, swabbing or washing out of all dirt before laying.

d. Flush the new pipe lines until the water runs clear at the end of all mains and laterals. This should be done after the pressure test and before disinfection. Based on a 2.5 feet/second flow velocity, the minimum flush time necessary to purge the line of any foreign material is minutes.

5. Any meter or hydrant removed from the site shall be returned to the Conveyance and Distribution Department.

6. An approved water supply for fire protection, either temporary or permanent, shall be made available as soon as combustible material arrives on the site.

7. All water used for construction shall be metered through an approved backflow prevention device and fire hydrant meter obtained from the Conveyance and Distribution Department.

8. All abandoned water lines shall be capped at the main and the pipes plugged.

9. It will be the responsibility of the Contractor to ensure water lines are placed within the easements with a minimum 7'-6" available from pipe centerline to easement line.

10. Contact the Utilities Protection Center (811 in Georgia or 1-800-282-7411) a minimum of seventy-two (72) hours prior to digging for location of City water lines.

11. Contractor shall notify residences a minimum of 24 hours in advance of any work that may impact them, including but not limited to: parking stall impact, loss of service, driveway cuts, removal/relocation of fences and mail boxes, sidewalk impacts, etc.

1. All construction materials and workmanship shall be in accordance to the City of Savannah's latest construction specifications and details. The system shall be designed and tested per the specifications and requirements maintained by the City Engineer.

2. An approved water supply for fire protection, either temporary or permanent, shall be made available as soon as combustible material arrives on the site.

3. All water used for construction shall be metered through an approved backflow prevention device and fire hydrant meter obtained from the Conveyance and Distribution Department.

4. All abandoned sanitary sewer lines shall be plugged.

5. It will be the responsibility of the Contractor to ensure sewer lines are placed within the easements with a minimum 7'-6" available from pipe centerline to easement line.

6. Contact the Utilities Protection Center (811 in Georgia or 1-800-282-7411) a minimum of seventy-two (72) hours prior to digging for location of City sewer lines.

7. Contractor shall notify residences a minimum of 24 hours in advance of any work that may impact them, including but not limited to: parking stall impact, loss of service, driveway cuts, removal/relocation of fences and mail boxes, sidewalk impacts, etc.

WATER GENERAL NOTES

STANDARD CONSTRUCTION DETAILS

CITY OF SAVANNAH WATER RESOURCES AND PUBLIC WORKS BUREAU

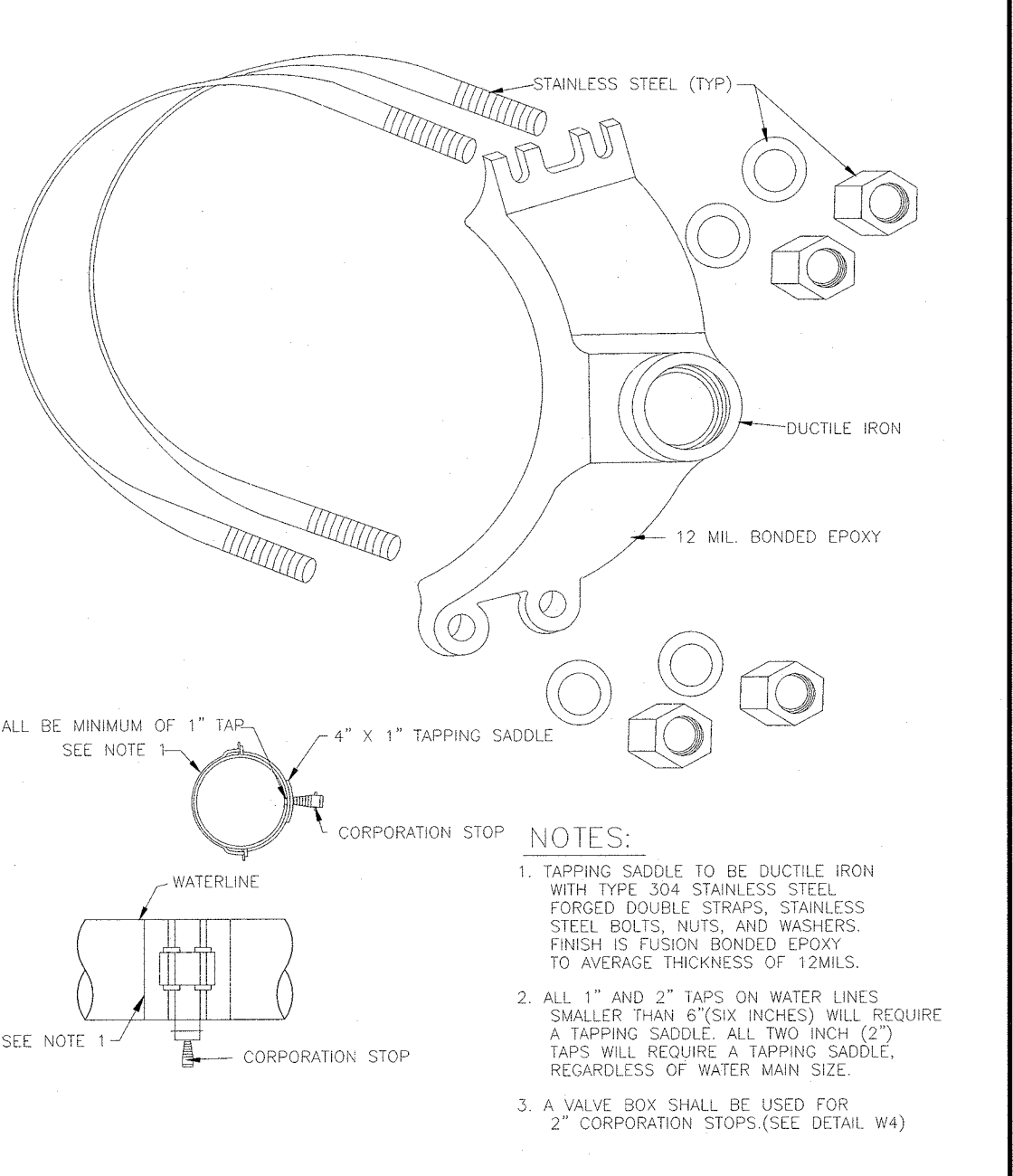
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SANITARY SEWER GENERAL NOTES

STANDARD CONSTRUCTION DETAILS

CITY OF SAVANNAH WATER RESOURCES AND PUBLIC WORKS BUREAU

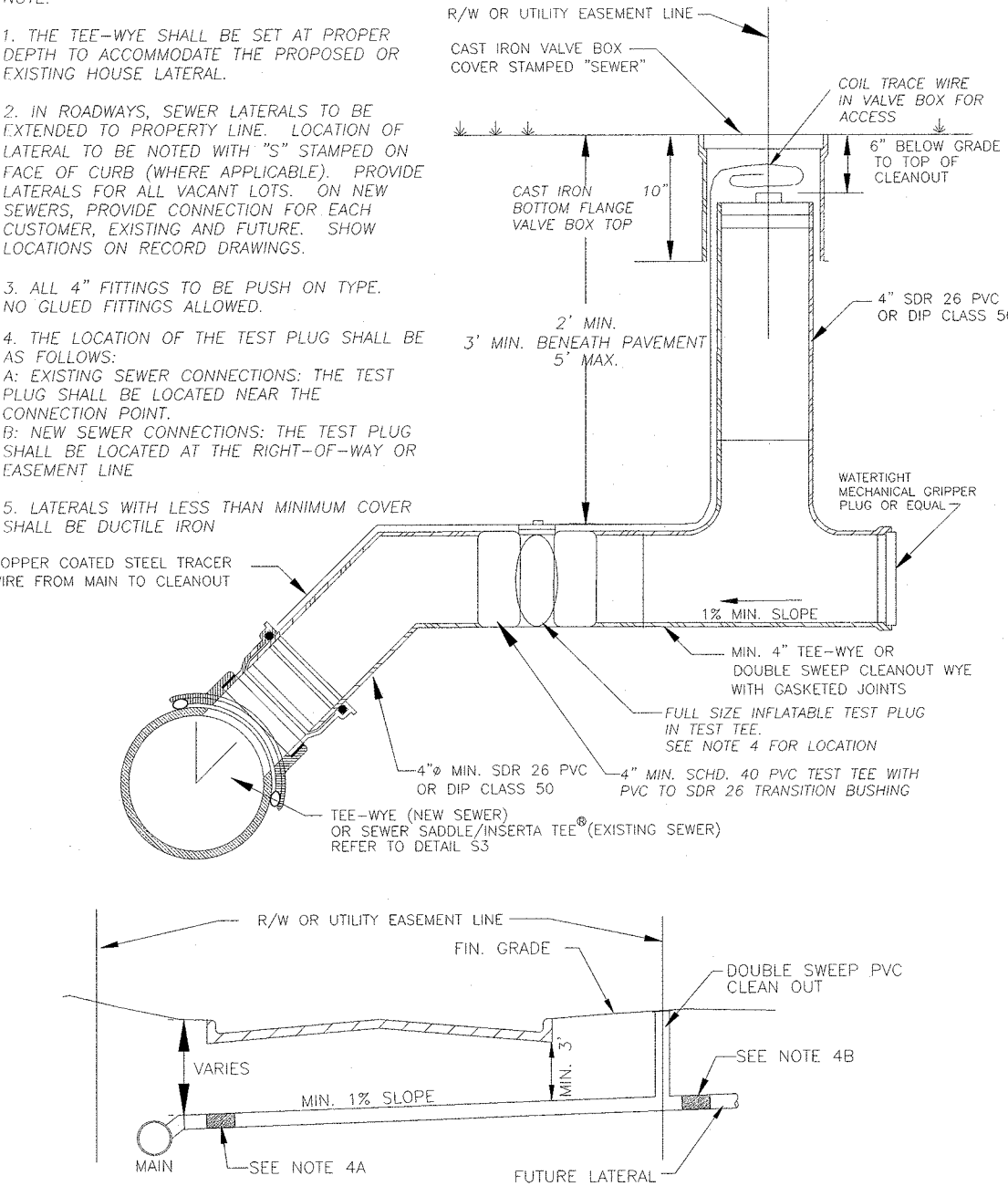
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STANDARD CONSTRUCTION DETAILS

CITY OF SAVANNAH WATER RESOURCES AND PUBLIC WORKS BUREAU

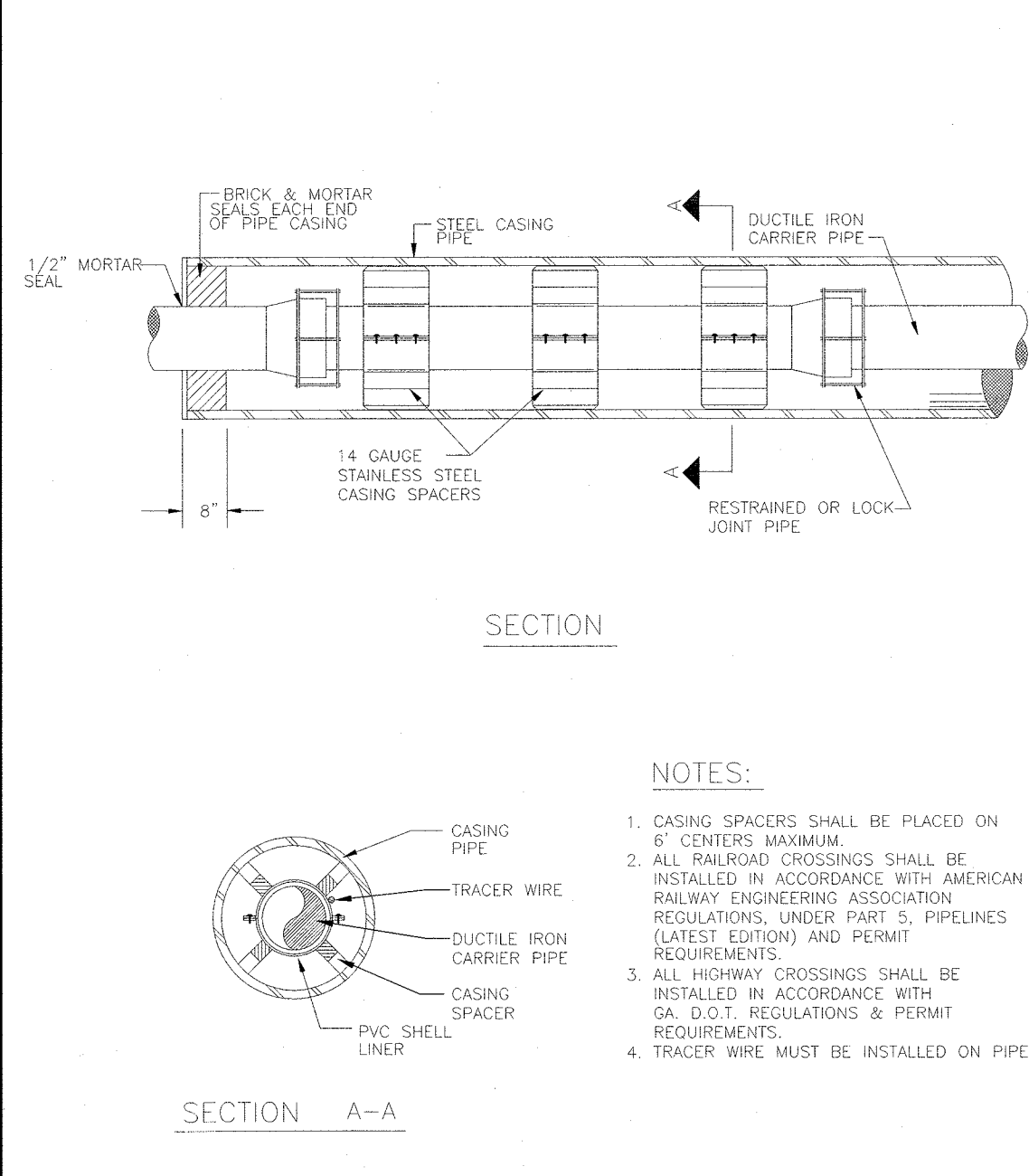
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STANDARD CONSTRUCTION DETAILS

CITY OF SAVANNAH PUBLIC WORKS AND WATER RESOURCES BUREAU

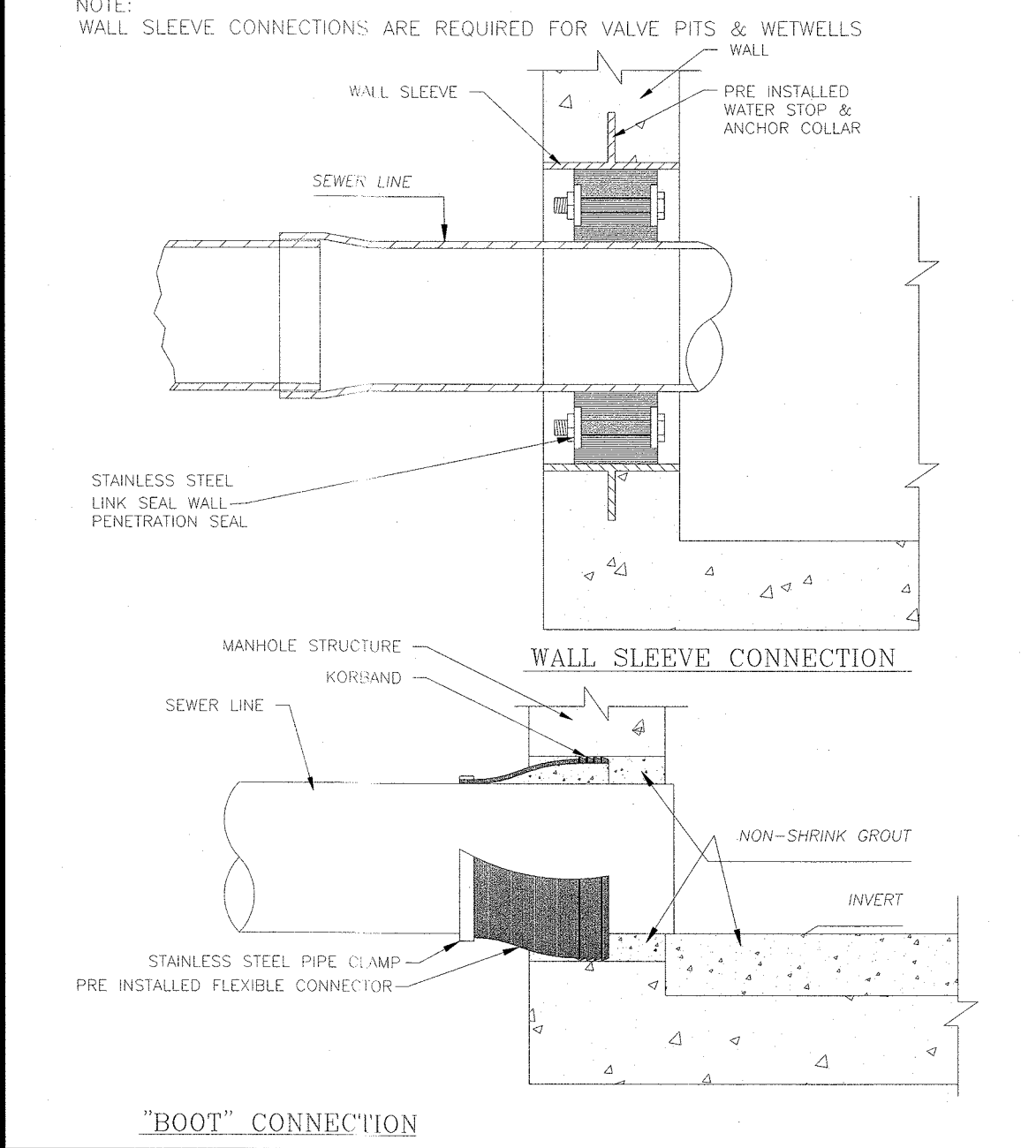
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STANDARD CONSTRUCTION DETAILS

CITY OF SAVANNAH WATER RESOURCES AND PUBLIC WORKS BUREAU

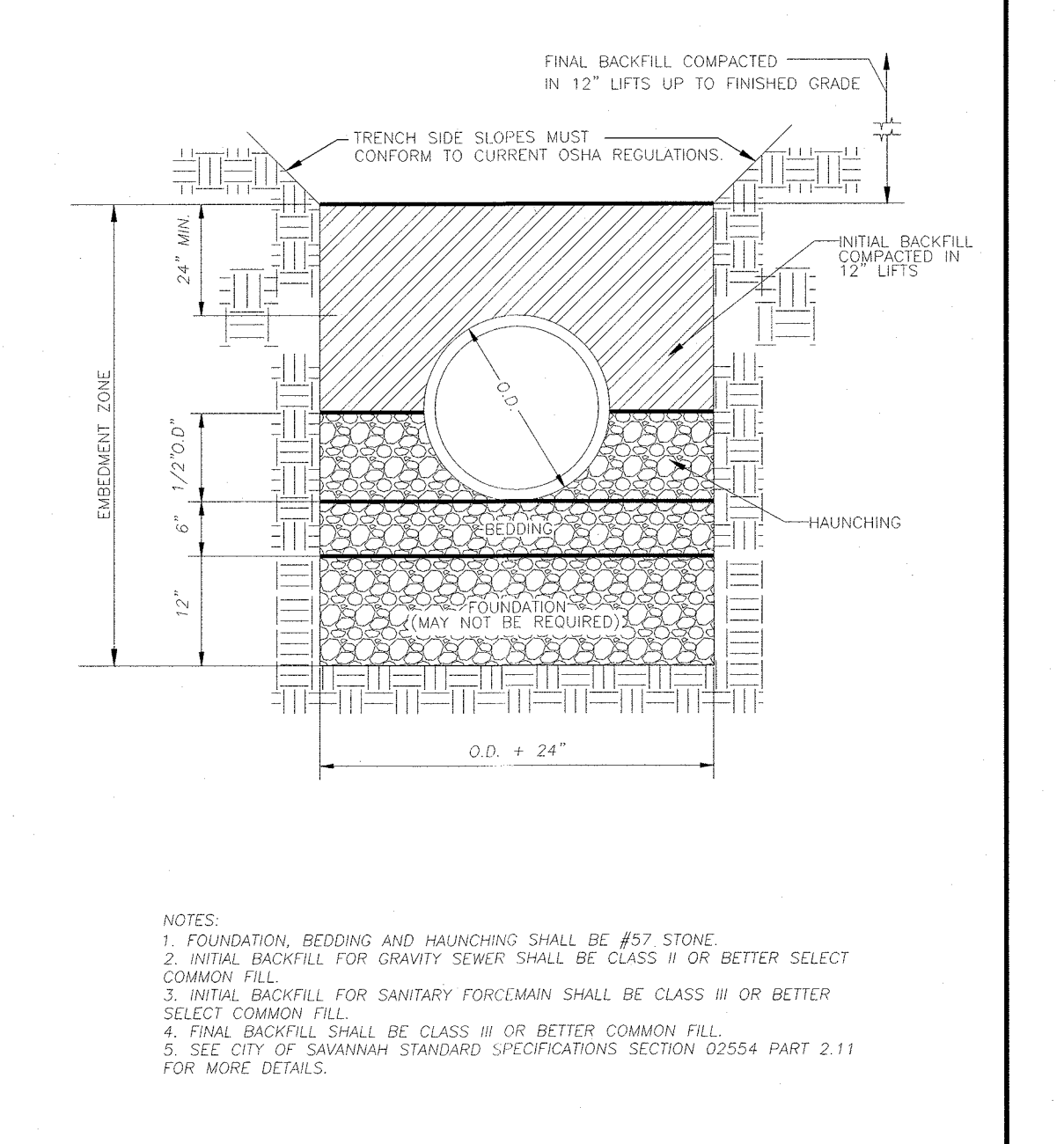
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STANDARD CONSTRUCTION DETAILS

CITY OF SAVANNAH WATER RESOURCES AND PUBLIC WORKS BUREAU

SCALE: N.T.S. DATE: SEP 2013 PLATE NUMBER: S12



STANDARD CONSTRUCTION DETAILS

CITY OF SAVANNAH WATER RESOURCES AND PUBLIC WORKS BUREAU

SCALE: N.T.S. DATE: MAR 2014 PLATE NUMBER: S16

Kern & Co., LLC

Consulting Engineers • Land Surveyors • Land Planners  
Architects • Landscape Architects • Environmental Scientists

7 Mill Court (3146) P.O. Box 15179 (31416) Savannah, Georgia 31402-8400  
319 Walnut Street Suite A, Statesboro, Georgia 30458 Phone: (912) 225-3373

STAMP: GEORGIA REGISTERED PROFESSIONAL ENGINEER

DATE: 01/14/16

STAMP:

NO	DATE	REVISION

ORIGINAL RELEASED FOR CONSTRUCTION DATE:

PLANS OF POLICE PRECINCT FOR CHATHAM COUNTY

SITE DETAILS

SCALE: 1"=40'

PROJECT NO: 150252

DATE: 01/14/16

DRAWN BY: JAP

CHECKED BY: MDC

SHEET NO:

NOT FOR CONSTRUCTION

RELEASED FOR CONSTRUCTION

DATE: BY:

DET-3