

THIS IS DRAWING IS THE PROPERTY OF BARNARD ARCHITECTS AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART ON THE ORIGINAL DRAWING ONLY AND MAY BE CHANGED IN PROPORTION TO THE DIFFERENCE IN SIZE BETWEEN THE PRINT AND THE ORIGINAL. DO NOT SCALE WITHOUT THE PERMISSION OF SAME. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED ON REQUEST. SCALES STATED HEREON ARE VALID DIMENSIONS FOR PRINTS. PLANS AND DETAILS ARE NOT ALWAYS DRAWN TO SCALE. USE DIMENSIONS GIVEN OR CONSULT THE ARCHITECT FOR CLARIFICATION



OLD COUNTY COURTHOUSE

REPLACE ASPHALT SHINGLE ROOF

BUILDING CODES

THE CONTRACT DOCUMENTS INDICATE THE INTENDED OCCUPANCY AND USE OF THE BUILDING AND SYSTEMS. THE PROJECT AS A WHOLE AND ITS ELEMENTS SHALL COMPLY WITH ALL REGULATIONS AS REQUIRED, INCLUDING ALL LOCAL, STATE AND FEDERAL AND OTHER APPLICABLE CODES, (MORE RECENT OR STRINGENT EDITIONS OR AMENDMENTS SHALL HAVE PRECEDENCE). CONTRACTOR SHALL NOTIFY ARCHITECT OF NON-COMPLIANT DESIGN, OR QUESTIONS OF COMPLIANCE, PRIOR TO START OF WORK. FOR MORE INFORMATION ON APPLICABLE CODES CONTACT LOCAL AUTHORITY HAVING JURISDICTION AND GEORGIA DEPT OF COMMUNITY AFFAIRS, (404) 679-3121, WWW.DCA.STATE.GA.US.

INTERNATIONAL BUILDING CODE, 2006

LIST OF DWGS

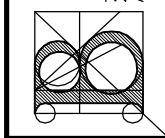
1	COVER	COVER SHEET
2	NOTES	NOTES
3	SITE	SITE PLAN
4	A1.1	ROOF PLAN
5	A2.1	BUILDING ELEVATIONS

PROJECT TEAM

OWNER
 CHATHAM COUNTY
 124 BULL STREET
 SAVANNAH, GEORGIA 31401
 (912) 652-7828
 ATTN: WILLIAM WRIGHT

ARCHITECTS
 BARNARD ARCHITECTS, AIA
 220 E. HALL STREET
 SAVANNAH, GEORGIA 31401
 (912) 232-6173
 ATTN: JOHN CLEGG

L. SCOTT BARNARD & ASSOCIATES
 ARCHITECTURE, PLANNING, INTERIORS, LANDSCAPE, HISTORIC
 220 EAST HALL STREET SAVANNAH, GA 31401 (912) 232-6173
 ASSOCIATES: ROBERT J. PORTMAN & JOHN A. CLEGG



ARCHITECT/ENGINEER SEAL

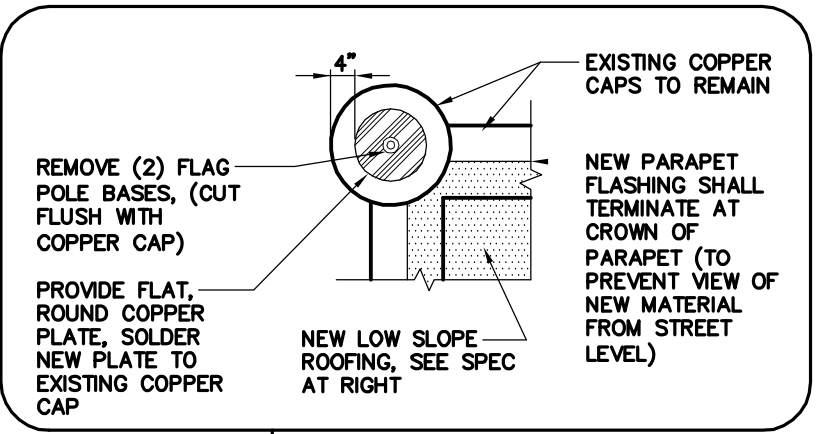
REPLACE ASPHALT SHINGLE ROOF
 OLD COUNTY COURTHOUSE
 124 BULL STREET
 SAVANNAH, GA

REVISION / DATE	BY
10/5/11	JAC

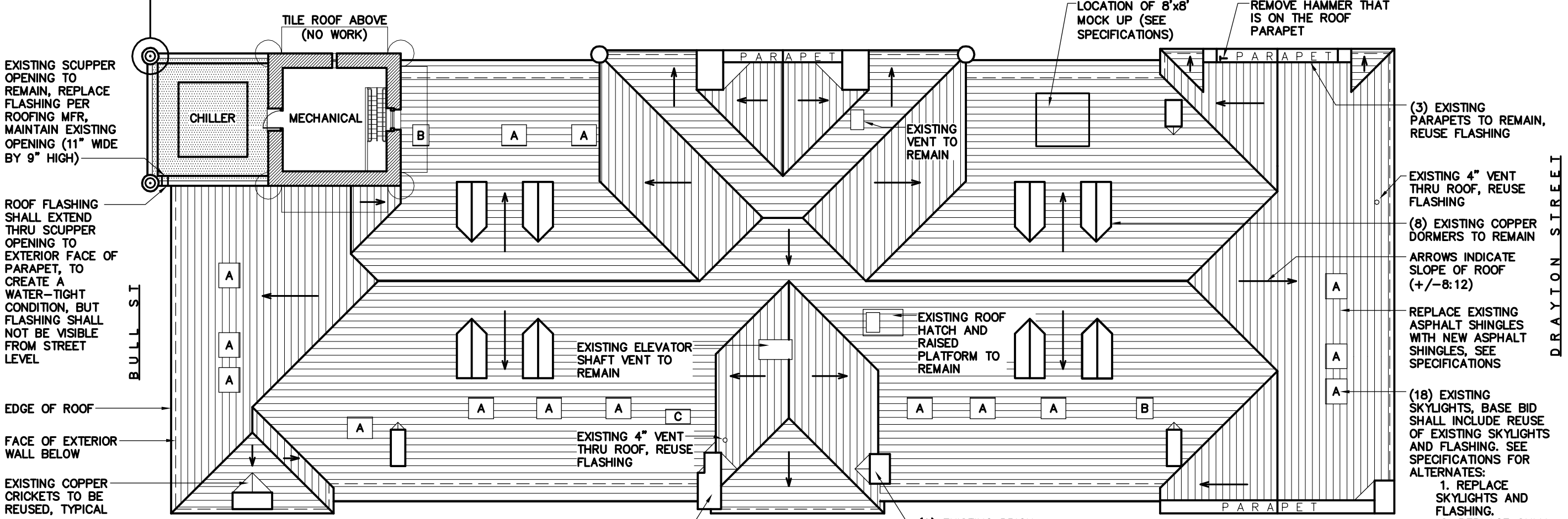
SHEET NO.:
COVER
 OF

FOR CONSTRUCTION

THIS IS DRAWING IS THE PROPERTY OF BARNARD ARCHITECTS AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART ON THE ORIGINAL DRAWING ONLY AND MAY BE CHANGED IN PROPORTION TO THE DIFFERENCE IN SIZE BETWEEN THE PRINT AND THE ORIGINAL. DO NOT SCALE WITHOUT THE PERMISSION OF SAME. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED ON REQUEST. SCALES STATED HEREON ARE VALID DIMENSIONS FOR PRINTS. PLANS AND DETAILS ARE NOT ALWAYS DRAWN TO SCALE. USE DIMENSIONS GIVEN OR CONSULT THE ARCHITECT FOR CLARIFICATION.



- ### LOW SLOPE ROOFING (BID ALT)
1. REPLACE EXISTING LOW SLOPE ROOFING AT 'CHILLER' AREA (SEE SPECS FOR MODIFIED BITUMEN ROOFING).
 2. REPLACE EXISTING ROOFING AT PARAPET (+/-42" HIGH). PROVIDE FLASHING AND CAP PER SPECIFICATIONS.
 3. REMOVE AND REINSTALL METAL THRESHOLD AT DOOR AS NEEDED TO REPLACE ROOFING.
 4. THE OWNER SHALL REMOVE ALL STORED MATERIALS AND ABANDONED ELEC/MECH PIPING AND CONDUIT PRIOR TO START OF WORK.



AFTER REMOVAL OF EXISTING ASPHALT SHINGLES, THE CONTRACTOR SHALL INSPECT THE CONDITION OF THE WOOD DECK AT ALL AREAS, HOWEVER, CLOSE INSPECTION AT THE PERIMETER OF THIS CHIMNEY IS NEEDED DUE TO HISTORY OF LEAKS

(9) EXISTING BRICK CHIMNEYS TO REMAIN, VERIFY CONDITION OF FLASHING AND CRICKETS

SKYLIGHTS	
TYPE	ROUGH OPENING (WxH)
A	45 1/4" x 47"
B	31 1/8" x 55 1/2"
C	45 1/4" x 30"

SKYLIGHT SIZES SHALL BE VERIFIED IN FIELD PRIOR TO ORDERING MATERIALS.



1 ROOF PLAN
A1.1 SCALE: 1/16" = 1'-0"



L. SCOTT BARNARD & ASSOCIATES
 ARCHITECTURE, PLANNING, INTERIORS, LANDSCAPE, HISTORIC
 220 EAST HALL STREET SAVANNAH, GA 31401 (912) 232-6173
 ASSOCIATES: ROBERT J. PORTMAN & JOHN A. CLEGG

REPLACE ASPHALT SHINGLE ROOF
 OLD COUNTY COURTHOUSE
 124 BULL STREET
 SAVANNAH, GA

ROOF PLAN
 FOR CONSTRUCTION

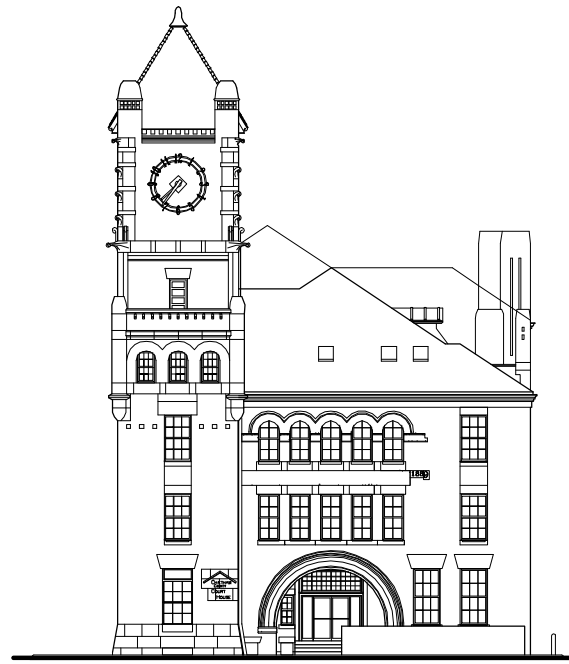
REVISION / DATE	BY
10/5/11	JAC

SHEET NO.:
A1.1
 OF

THIS IS DRAWING IS THE PROPERTY OF BARNARD ARCHITECTS AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART ON THE ORIGINAL DRAWING ONLY AND MAY BE CHANGED IN PROPORTION TO THE DIFFERENCE IN SIZE BETWEEN THE PRINT AND THE ORIGINAL. DO NOT SCALE WITHOUT THE PERMISSION OF SAME. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED ON REQUEST. SCALES STATED HEREON ARE VALID DIMENSIONS FOR PRINTS. PLANS AND DETAILS ARE NOT ALWAYS DRAWN TO SCALE. USE DIMENSIONS GIVEN OR CONSULT THE ARCHITECT FOR CLARIFICATION.



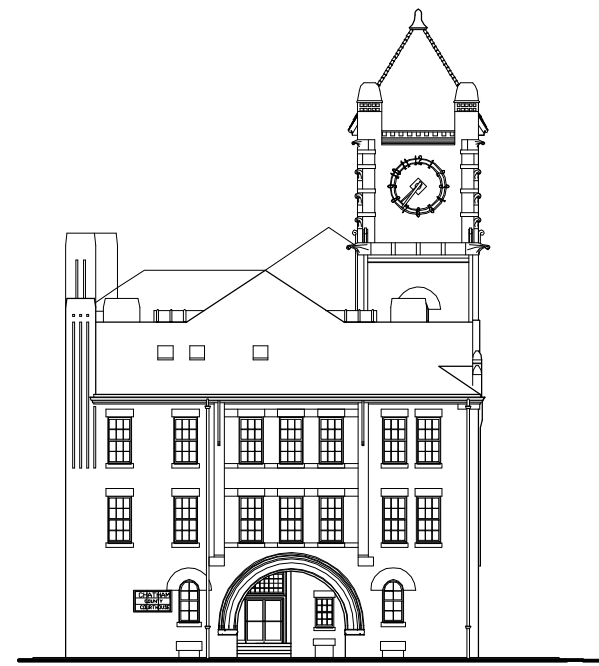
1 NORTH ELEVATION (FACING PRESIDENT ST)
A2.1 SCALE: 1/32" = 1'-0"



2 WEST ELEV (FACING BULL ST)
A2.1 SCALE: 1/32" = 1'-0"

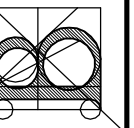


3 SOUTH ELEVATION (FACING YORK ST)
A2.1 SCALE: 1/32" = 1'-0"



4 EAST ELEV (DRAYTON ST)
A2.1 SCALE: 1/32" = 1'-0"

L. SCOTT BARNARD & ASSOCIATES
ARCHITECTURE, PLANNING, INTERIORS, LANDSCAPE, HISTORIC
220 EAST HALL STREET SAVANNAH, GA 31401 (912) 232-6173
ASSOCIATES: ROBERT J. PORTMAN & JOHN A. CLEGG



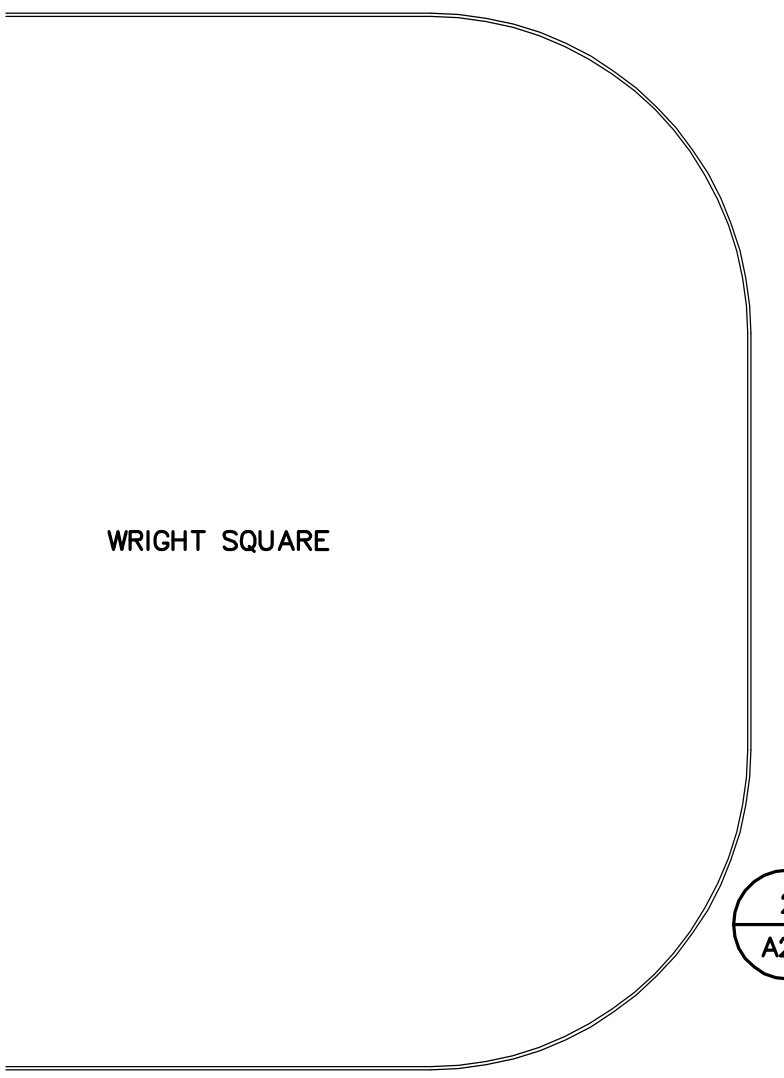
ARCHITECT/ENGINEER SEAL

REPLACE ASPHALT SHINGLE ROOF
OLD COUNTY COURTHOUSE
124 BULL STREET
SAVANNAH, GA
EXTERIOR ELEVATIONS
FOR CONSTRUCTION

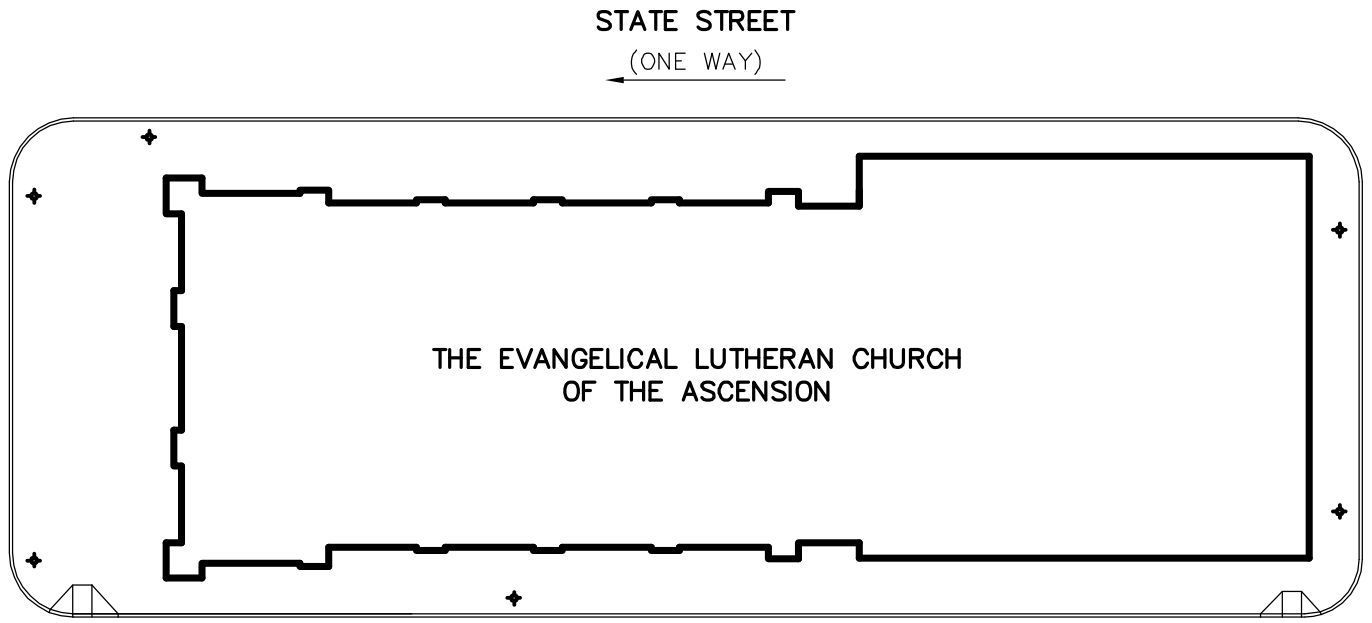
REVISION / DATE	BY
10/5/11	JAC

SHEET NO.:
A2.1
OF

THIS IS DRAWING IS THE PROPERTY OF BARNARD ARCHITECTS AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART ON THE ORIGINAL DRAWING ONLY AND MAY BE CHANGED IN PROPORTION TO THE DIFFERENCE IN SIZE BETWEEN THE PRINT AND THE ORIGINAL. DO NOT SCALE WITHOUT THE PERMISSION OF SAME. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED ON REQUEST. SCALES STATED HEREON ARE VALID DIMENSIONS FOR PRINTS. PLANS AND DETAILS ARE NOT ALWAYS DRAWN TO SCALE. USE DIMENSIONS GIVEN OR CONSULT THE ARCHITECT FOR CLARIFICATION.



WRIGHT SQUARE



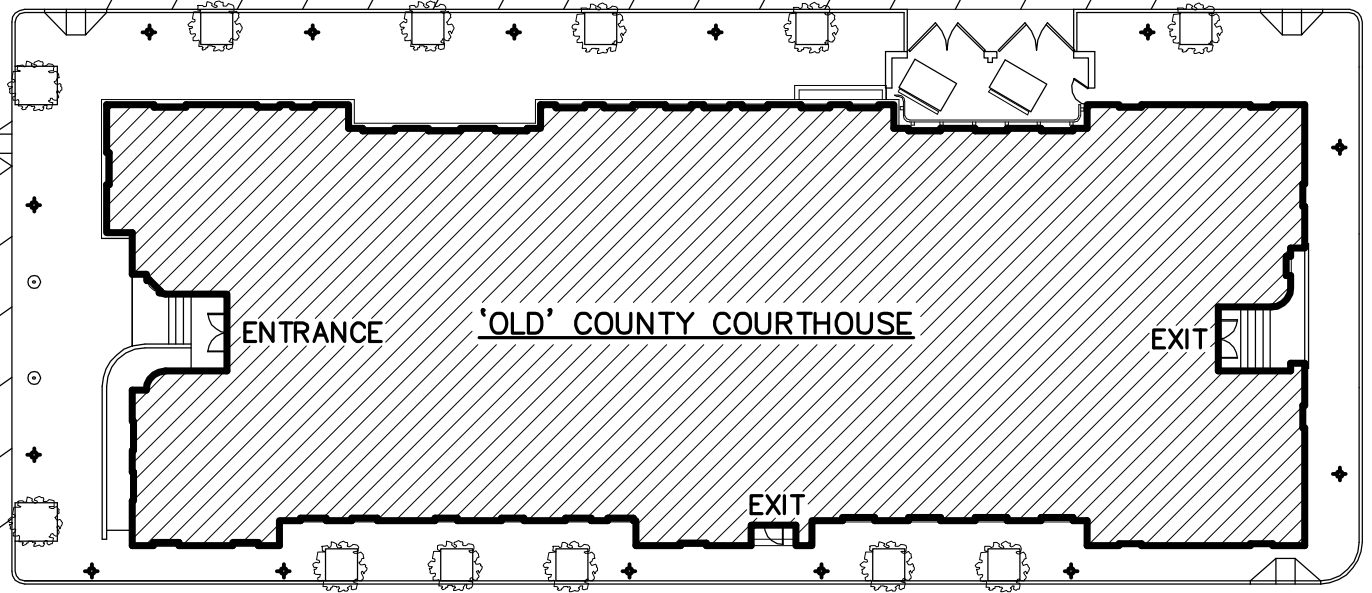
THE EVANGELICAL LUTHERAN CHURCH
OF THE ASCENSION

STATE STREET
(ONE WAY)

BULL STREET
(ONE WAY)

PRESIDENT STREET
(ONE WAY)

DRAYTON STREET
(ONE WAY)



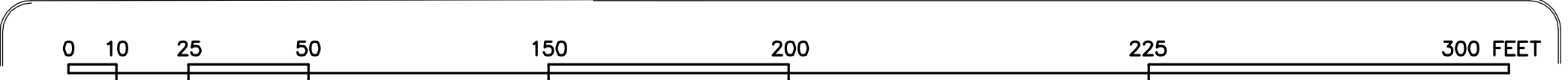
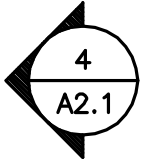
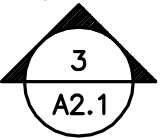
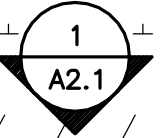
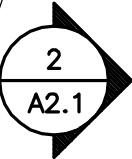
ENTRANCE

'OLD' COUNTY COURTHOUSE

EXIT

EXIT

YORK STREET
(ONE WAY)



SCALE: 1" = 30'-0"

L. SCOTT BARNARD & ASSOCIATES
ARCHITECTURE, PLANNING, INTERIORS, LANDSCAPE, HISTORIC
220 EAST HALL STREET SAVANNAH, GA 31401 (912) 232-6173
ASSOCIATES: ROBERT J. PORTMAN & JOHN A. CLEGG

ARCHITECT/ENGINEER SEAL

REPLACE ASPHALT SHINGLE ROOF
OLD COUNTY COURTHOUSE
124 BULL STREET
SAVANNAH, GA

REVISION / DATE	BY
10/5/11	JAC

SHEET NO.:
SITE
OF

SITE PLAN
FOR CONSTRUCTION

GENERAL NOTES

GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK WITH ALL TRADES INVOLVED.

THESE CONCEPTUAL DRAWINGS DO NOT FULLY REFLECT EXISTING CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF EXISTING FEATURES BEFORE STARTING WORK OR ORDERING MATERIALS, NOTIFY ARCHITECT OF ANY DISCREPANCIES.

DRAWINGS INDICATE INTENDED AND INFERRED SCOPE OF WORK. CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIALS, ACCESSORIES, ETC., INCLUDING MODIFICATION OF EXISTING CONDITIONS, TO COMPLETE THE ENTIRE SCOPE OF WORK.

CONTRACTOR SHALL COMPLETE WORK IN ACCORDANCE WITH INDUSTRY AND MANUFACTURER'S WRITTEN REQUIREMENTS. FINISH WORK TO BE COMPLETED IN A PROFESSIONAL, QUALITY MANNER.

DRAWINGS, SECTIONS AND DETAILS REPRESENT TYPICAL CONDITIONS, THE CONTRACTOR IS TO REVIEW WITH THE ARCHITECT NON-TYPICAL CONDITIONS THAT REQUIRE A MODIFICATION TO THE DESIGN.

REFERENCES TO SPECIFIC MANUFACTURER'S PRODUCTS ON THE DRAWINGS ESTABLISH A STANDARD OF QUALITY, PRODUCTS THAT ARE APPROVED AS EQUAL BY THE ARCHITECT, PRIOR TO BID OPENING, ARE ACCEPTABLE.

CONTRACTOR SHALL SUBMIT TO OWNER SAMPLES OF ALL FINISH MATERIALS FOR APPROVAL OF COLOR, STYLE, AND TEXTURE, PRIOR TO FABRICATION/INSTALLATION.

CONTRACTOR SHALL REMOVE FROM SITE AND DISCARD ALL CONSTRUCTION DEBRIS AT APPROVED DISPOSAL SITE.

SMOKING SHALL NOT BE PERMITTED ON SITE.

CONTRACTOR SHALL LIMIT USE OF PREMISES TO THE WORK INDICATED OR INFERRED.

CONTRACTOR SHALL ENSURE SAFE PASSAGE OF PERSONS AROUND AREA OF CONSTRUCTION. PROVIDE TEMPORARY BARRICADES TO PROTECT THE GENERAL PUBLIC FROM INJURY DUE TO CONSTRUCTION WORK (SEE SPECIFICATIONS FOR REQUIREMENT FOR "SAFETY PLAN")

THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY OF ANY SUSPECTED HAZARDOUS MATERIALS DISCOVERED DURING RENOVATION (SUCH AS BUT NOT LIMITED TO ASBESTOS AND LEAD PAINT). THE OWNER SHALL PROVIDE ANY TESTING, TREATMENT AND/OR DISPOSAL OF SUSPECTED MATERIALS IN ACCORDANCE WITH APPLICABLE REGULATIONS. AT ALL TIMES THE CONTRACTOR AND OWNER SHALL TAKE PRECAUTIONS TO PROTECT PEOPLE FROM SUCH MATERIALS.

RENOVATION NOTES

PROVIDE TEMPORARY DUSTPROOF MEASURES TO PREVENT THE SPREAD OF DUST TO THE INTERIOR OF THE BUILDING.

CONTRACTOR SHALL NOTIFY ARCHITECT OF HIDDEN CONDITIONS THAT CONFLICT WITH DEMOLITION OR NEW WORK PRIOR TO RECOMMENCING WORK.

THE SCOPE OF WORK INCLUDES REPLACEMENT OF THE EXISTING ASPHALT SHINGLE ROOFING. SEE DRAWINGS AND SPECIFICATIONS FOR SPECIFIC SCOPE OF WORK AND BID ALTERNATES (LOW SLOPE ROOF AREA, SKYLIGHTS, SHINGLE ROOF UPGRADES).

DEMOLITION NOTES

PROTECT FROM DAMAGE EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE. IF IT BECOMES DAMAGED DURING DEMOLITION— PROMPTLY REPAIR DAMAGE CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK.

IF THE CONTRACTOR HAS ANY QUESTIONS ABOUT THE SCOPE OF WORK, THEY SHALL FORWARD SUCH QUESTIONS TO THE ARCHITECT IN WRITING.

CONTRACTOR SHALL VERIFY ALL EXISTING STRUCTURE PRIOR TO ANY DEMOLITION OPERATIONS.

CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES TO REMAIN PRIOR TO ANY DEMOLITION OPERATIONS.

IF THE CONTRACTOR DISCOVERS ANY UTILITIES (COMMUNICATION WIRES, POWER LINES, ETC) THAT SEEM TO BE IN CONFLICT WITH THE SCOPE OF WORK, THE CONTRACTOR SHALL NOTIFY THE OWNER AND COORDINATE THE RELOCATION AND/OR PROTECTION OF SUCH UTILITIES.

CONDUCT DEMOLITION OPERATIONS AND DEBRIS REMOVAL TO ENSURE MINIMUM INTERFERENCE WITH ROADS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.

REMOVE CONSTRUCTION DEBRIS TO AN OFF-SITE APPROVED DISPOSAL SITE.

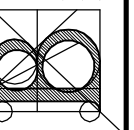
ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR	EXIST	EXISTING	MTL	METAL
ALUM	ALUMINUM	G.W.B.	GYPSUM WALL BOARD	N.T.S.	NOT TO SCALE
☉	CENTER LINE	HC	HANDICAP	O.C.	ON CENTER
CLG	CEILING	MAX	MAXIMUM	SIM	SIMILAR
CMU	CONCRETE MASONRY UNIT	MFR	MANUFACTURER	TEMP	TEMPERED
CONC	CONCRETE	MIN	MINIMUM	TYP	TYPICAL
CONT	CONTINUOUS	N.I.C.	NOT IN CONTRACT	VIF	VERIFY IN FIELD

EXISTING CONDITIONS

THE CONTRACTOR SHALL VISIT THE SITE, INSPECT THE ROOF, AND VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO SUBMITTING A BID FOR THIS WORK (THE DRAWINGS ARE CONCEPTUAL ONLY). CHANGE ORDERS WILL NOT BE PROVIDED FOR CONDITIONS THAT ARE READILY APPARENT AND VISIBLE.

THIS IS DRAWING IS THE PROPERTY OF BARNARD ARCHITECTS AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART ON THE ORIGINAL DRAWING ONLY AND MAY BE CHANGED IN PROPORTION TO THE DIFFERENCE IN SIZE BETWEEN THE PRINT AND THE ORIGINAL. DO NOT SCALE WITHOUT THE PERMISSION OF SAME. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED ON REQUEST. SCALES STATED HEREON ARE VALID DIMENSIONS FOR PRINTS. PLANS AND DETAILS ARE NOT ALWAYS DRAWN TO SCALE. USE DIMENSIONS GIVEN OR CONSULT THE ARCHITECT FOR CLARIFICATION.



L. SCOTT BARNARD & ASSOCIATES
ARCHITECTURE, PLANNING, INTERIORS, LANDSCAPE, HISTORIC
220 EAST HALL STREET SAVANNAH, GA 31401 (912) 232-6173
ASSOCIATES: ROBERT J. PORTMAN & JOHN A. CLEGG

ARCHITECT/ENGINEER SEAL

REPLACE ASPHALT SHINGLE ROOF
OLD COUNTY COURTHOUSE
124 BULL STREET
SAVANNAH, GA

REVISION / DATE	BY
10/5/11	JAC

SHEET NO.:
NOTES
OF ○

FOR CONSTRUCTION